



**ISABELLA COUNTY**  
**APPLICATION FOR BUILDING PERMIT**  
Isabella County Community Development Department  
Inspection Division  
200 N. Main St., Mt. Pleasant, MI 48858  
(989) 772-0911, ext. 227

BUILDING PERMIT APPLICATIONS WILL **NOT** BE ACCEPTED UNLESS THE FOLLOWING ARE PROVIDED AT THE TIME OF APPLICATION:

1. CORRECT PROPERTY TAX ID#.
2. CORRECT ADDRESS OF PROPERTY, ASSIGNED BY THIS DEPARTMENT.
3. ZONING (if applicable).
4. SOIL EROSION EVALUATION (if applicable). Contact the Isabella Co. Drain Commissioner's Office (989) 772-0911, ext. 247.  
Soil erosion is needed if:
  - a. You are building within 500 feet of any body of water (i.e. lake, creek, stream, river, pond, county drain).
  - b. You are disturbing more than one acre of ground.
5. SEPTIC APPROVAL (if applicable). Contact Central Michigan District Health Dept. (989) 773-5921.  
Septic is needed if:
  - a. New dwelling.
  - b. When the dwelling is being replaced by a different dwelling (mobile home, modular home, etc.)
  - c. Any addition or remodeling that encroaches the required setbacks to the home.
  - d. Any remodeling that alters bedrooms.
6. APPLICATION FOR NEW HOME OR ADDITIONS TO HOME MUST INCLUDE:
  - a. One copy of the house plans including the floor plan, typical wall section (Appendix A), location of smoke detectors, and location of egress windows.
  - b. Energy code compliance spec sheet.
  - c. Plan review fee.
7. APPLICATION FOR MODULAR OR DOUBLE WIDE MOBILE HOME MUST INCLUDE:
  - a. Copy of the foundation plan (including size of piers if applicable).
  - b. Energy code compliance spec sheet. (If home will be set on basement or crawlspace.)
  - c. Plan review fee.
8. APPLICATION FOR POLE BUILDING OR GARAGE MUST INCLUDE:
  - a. Garage - residential garages & accessory structures wall section (Appendix B).
  - b. Pole Building - residential pole barn wall section (Appendix C).
  - c. Plan review fee.
9. APPLICATION FOR DECKS MUST INCLUDE:
  - a. Residential Deck Specifications (Appendix D)
  - b. Plan review fee.
10. APPLICATION FOR WINDOW AND/OR DOOR REPLACEMENT MUST INCLUDE:
  - a. Energy code compliance spec sheet.
11. SIGNATURE ON APPLICATION. (If a contractor is doing the work contractor's signature is required. If owner is doing the work owner's signature is required.)
12. PERMIT FEE. (Fee varies and will be figured at the time of application, if you are mailing your application please call for fee, permits can not be processed without payment.)
13. DISPLAY BOARD - A 2x2 display board mounted 4 feet high must be placed at the entrance of the property for displaying your permit. Building permits are printed on weather proof paper, so please do not laminate or put in plastic bag. Building permit must be properly displayed before calling for an inspection.

NOTE: Permits for siding and reshingle please fill out the form on the following page and submit with payment. No Appendix is required.

This application shall become incorporated as a part of the permit issued and only authorizes the items of work as herein applied for.

# BUILDING PERMIT APPLICATION

Jurisdiction of Isabella County  
 Inspection Department  
 200 N. Main Street  
 Mt. Pleasant MI 48858  
 (989) 772-0911, ext. 227

<b>*OFFICE USE ONLY*</b>	
PERMIT # _____	
DATE _____	
CHECK # _____	
RECEIPT # _____	

Job Site Address:		Property Tax ID #:	
Township:		Section:	Lot #:
Property Owner:			Phone:
Owners Mailing Address, City, State, Zip:			
Contractor:		License #:	Exp. Date:
Contractor Address, City, State, Zip:			Phone:
Workers Disability/Comp Ins Co.:		Employer ID #:	MESC #:
Use of Building:			
Class of Work: New Home <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Move <input type="checkbox"/> Basement <input type="checkbox"/> Garage <input type="checkbox"/> Modular <input type="checkbox"/> Mobile home <input type="checkbox"/>			
Method of Compliance: Michigan Building Code <input type="checkbox"/> Rehabilitation Code <input type="checkbox"/>			
Describe Work:			
Special Conditions:			

NOTICE: SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATING OR AIR CONDITIONING. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

**\*Section 23A of the State Construction Code Act of 1972, 1972 PA 230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of Section 23A are subjected to civil fines.**

\_\_\_\_\_  
 Signature of Contractor or Authorized Agent\* (Date)

\_\_\_\_\_  
 Signature of Owner (if owner is doing building) (Date)

**\*I HEREBY CERTIFY THAT THE PROPOSED WORK IS AUTHORIZED BY THE OWNER OF RECORD AND THAT I HAVE BEEN AUTHORIZED BY THE OWNER TO MAKE THIS APPLICATION AS HIS/HER AUTHORIZED AGENT, AND WE AGREE TO CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF MICHIGAN. ALL INFORMATION SUBMITTED ON THIS APPLICATION IS ACCURATE TO THE BEST OF MY KNOWLEDGE.**

Application Accepted by:	Plan Reviewed by:	Approved for Issuance by:
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FOR OFFICE USE ONLY			
Principle			
Basement			
Garage			
Other			
Plan Review Fee - \$25.00		Administration Fee - \$ 12.00	
Total Valuation		Permit Fee	
Type of Const.	Occ. Group	Division	Fire Zone
Max Occ Load	No. of Stories	C of O Sent	
Requirements	Required	Received	Not Required
Zoning			
Health Dept			
Flood Plain			
Soil Report/Erosion			
Plan Review			
Plans			
Energy Code			
REQUIRED INSPECTIONS			
<input type="checkbox"/> FOOTING	<input type="checkbox"/> ROUGH	<input type="checkbox"/> OTHER	
<input type="checkbox"/> FOUNDATION WALL	<input type="checkbox"/> FINAL		

**MICHIGAN UNIFORM ENERGY CODE COMPLIANCE FORM**  
**(MUST BE COMPLETED FOR ALL NEW HOMES, ADDITIONS AND RESIDENTIAL ALTERATIONS)**

There are two ways to comply with the **ENERGY CODE**. Indicate what method has been used to provide documentation of code compliance.

1. Prescriptive method (See table 402.1.1).
2. System Analysis method (See table 2).

**TABLE 402.1.1**  
**INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**  
 \*Isabella County is in Climate Zone 6A

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT <sup>a</sup> U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE <sup>f</sup>	FLOOR R-VALUE	BASEMENT <sup>b</sup> WALL R-VALUE	SLAB <sup>c</sup> R-VALUE & DEPTH	CRAWL SPACE <sup>e</sup> WALL R-VALUE
5A	0.35	0.60	38	20 or 13+5 <sup>e</sup>	13/17	30 <sup>d</sup>	10/13	10, 2 ft	10/13
*6A	0.35	0.60	49	20 or 13+5 <sup>e</sup>	15/19	30 <sup>d</sup>	15/19	10, 4 ft	10/13
7	0.35	0.60	49	21	19/21	38 <sup>d</sup>	15/19	10, 4 ft	10/13

For SI: 1 foot = 304.8 mm.

- The fenestration *U*-factor column excludes skylights.
- The first *R*-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.
- R*-5 shall be added to the required slab edge *R*-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less, in zones 1-3 for heated slabs.
- Or insulation sufficient to fill the framing cavity, *R*-19 minimum.
- "13+5" means *R*-13 cavity insulation plus *R*-5 insulated sheathing. If structural sheathing covers 25% or less of the exterior, *R*-5 sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25% of exterior, structural sheathing shall be supplemented with insulated sheathing of at least *R*-2.
- The second *R*-value applies when more than half the insulation is on the interior.

R 408.31063

**TABLE 2 (System Analysis)**  
**COMPLIANCE WITH THE Michigan Energy Code can be accomplished with the use of the following programs:**

- Michigan Uniform Energy Code – 2009 (Detached 1 and 2 family dwellings).
- Meeting the design, construction, and certification requirements under the United States EPA **ENERGY STAR HOMES PROGRAM**.
- Meeting the design and construction guidelines of the **HOME ENERGY RATING SYSTEM (HERS)** with a minimum test score of 85.
- Achieving an approval using the insulation requirements in **RES check** using software version 4.4.1.

**401.3 Certificate.** A permanent certificate shall be posted on or in the electrical distribution panel, and shall meet all of the following:

- Be affixed or attached so it does not cover or obstruct the visibility of the circuit directory label, service disconnect label, or other required labels.
- Be completed by the builder or registered design professional.
- List the predominant *R*-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and/or floor) and ducts outside conditioned spaces and *U*-factors for fenestration. If there is more than 1 value for each component, then the certificate shall list the value covering the largest area.
- List the types and efficiencies of heating, cooling and service water heating equipment.
- If a gas fired unvented room heater, electric furnace, or baseboard electric heater is installed in the residence, then the certificate shall list "gas-fired unvented room heater," as appropriate. An efficiency shall not be listed for gas-fired unvented room heaters, electric furnaces, or electric baseboard heaters.

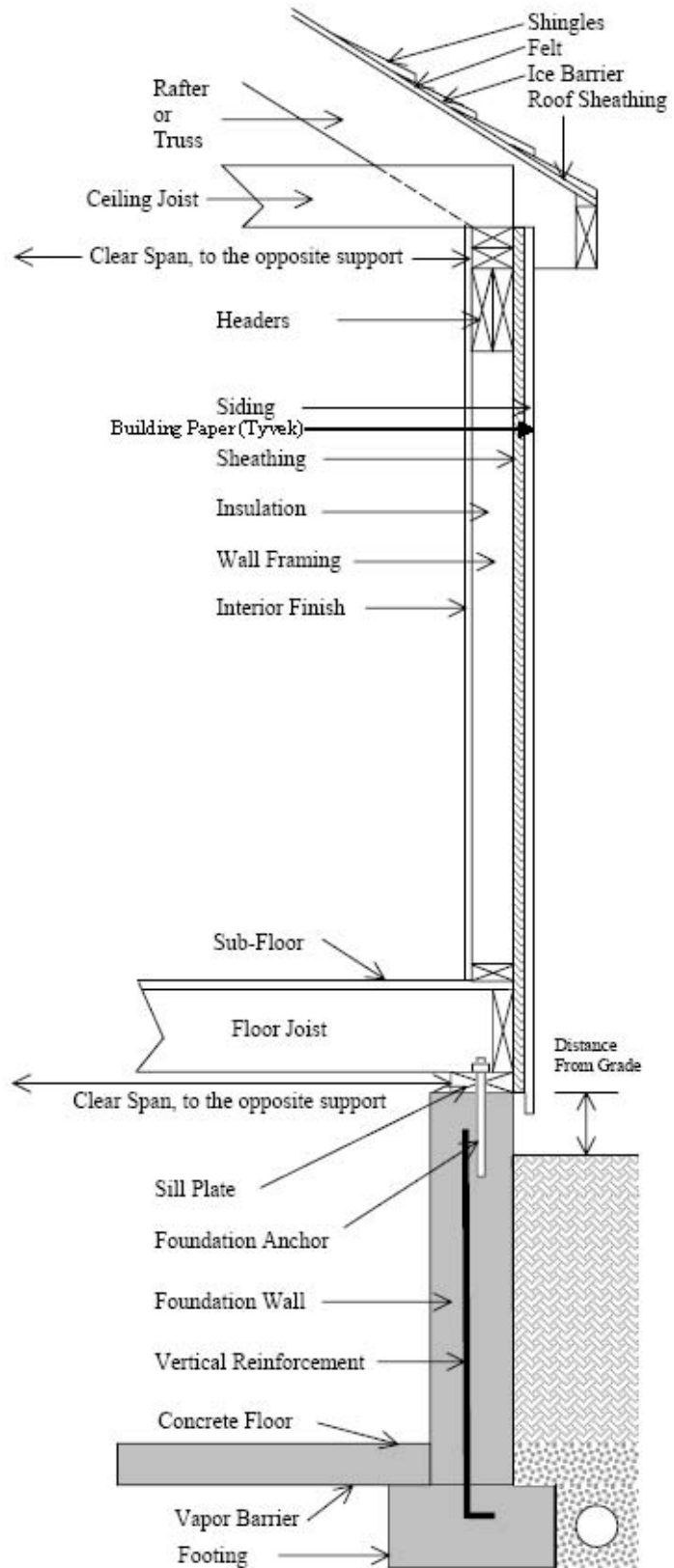
R408.31061

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

**Residential Frame Built  
(Roof, Walls, Floor, and Foundation)**

- Roof:**  
 Pitch - \_\_\_\_\_  
 Shingles - \_\_\_\_\_  
 Felt - \_\_\_\_\_  
 Ice Barrier - \_\_\_\_\_  
 Roof Sheathing - \_\_\_\_\_  
 Truss - \_\_\_\_\_ Yes \_\_\_\_\_ No  
 If No Answer The Following  
 Rafter Size - \_\_\_\_\_  
 Rafter Spacing - \_\_\_\_\_  
 Rafter Clear Span - \_\_\_\_\_  
 Rafter Species - \_\_\_\_\_  
 Ridge - \_\_\_\_\_  
 Ceiling Joist Size \_\_\_\_\_  
 Ceiling Joist Spacing- \_\_\_\_\_  
 Ceiling Joist Species- \_\_\_\_\_  
 Insulation - \_\_\_\_\_  
 Roof Ventilation - \_\_\_\_\_
- Walls:**  
 Siding - \_\_\_\_\_  
 Sheathing - \_\_\_\_\_  
 Bldg. Paper (Tyvek) \_\_\_\_\_  
 Insulation - \_\_\_\_\_  
 Walls Framing - \_\_\_\_\_  
 Headers - \_\_\_\_\_  
 Interior Finish - \_\_\_\_\_  
 Ceiling Height - \_\_\_\_\_
- Floor:**  
 Sub-Floor - \_\_\_\_\_  
 Floor Joist Size- \_\_\_\_\_  
 Floor Joist Spacing - \_\_\_\_\_  
 Floor Joist Clear Span - \_\_\_\_\_  
 Floor Joist Species - \_\_\_\_\_  
 Beam Type & Size - \_\_\_\_\_  
 Distance From Grade - \_\_\_\_\_
- Foundation:**  
 Anchor Type - \_\_\_\_\_  
 Anchor Spacing - \_\_\_\_\_  
 Sill Plate - \_\_\_\_\_  
 Poured Wall Size - \_\_\_\_\_  
 Block Wall Size - \_\_\_\_\_  
 Vertical Reinforcement - # \_\_\_\_\_ - \_\_\_\_\_ o.c.  
 Concrete Floor Thickness - \_\_\_\_\_  
 Vapor Barrier - \_\_\_\_\_  
 Column Pad Size - \_\_\_\_\_ x \_\_\_\_\_ x \_\_\_\_\_  
 Column Spacing- \_\_\_\_\_  
 Footing Width - \_\_\_\_\_  
 Footing Height - \_\_\_\_\_  
 Footing Depth Below Grade - \_\_\_\_\_



**Residential Garages & Accessory Structures**

Roof Pitch - \_\_\_\_\_  
 Roof Covering - \_\_\_\_\_  
 Underlayment - \_\_\_\_\_

Roof Deck - \_\_\_\_\_  
 Trusses – Yes - \_\_\_\_ No- \_\_\_\_  
 If no, fill in the following:  
 Size of Ridge - \_\_\_\_\_  
 Size of Rafters - \_\_\_\_\_  
 Rafter Spices of Lumber - \_\_\_\_\_  
 Rafter Spacing - \_\_\_\_\_  
 Ceiling Joist - \_\_\_\_\_

Wall Materials

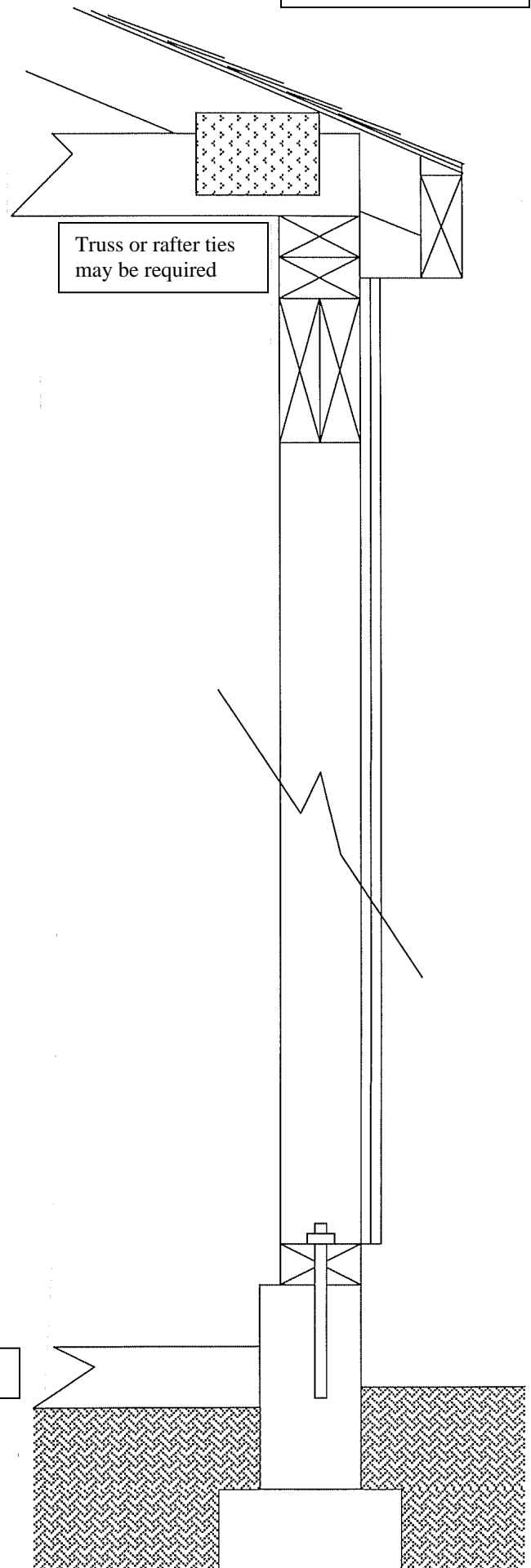
Size of Studs - \_\_\_\_\_  
 Top Plates - \_\_\_\_\_  
 Bottom Plates - \_\_\_\_\_  
 Stud Spacing - \_\_\_\_\_  
 Garage Door Header - \_\_\_\_\_  
 Garage Door Header Span - \_\_\_\_\_  
 Service Door - \_\_\_\_\_  
 Service Door Header Span - \_\_\_\_\_  
 Window Header - \_\_\_\_\_  
 Window Header Span - \_\_\_\_\_  
 Insulation Type - \_\_\_\_\_  
 Interior Finish - \_\_\_\_\_  
 Sheathing - \_\_\_\_\_  
 Siding - \_\_\_\_\_  
 Building Paper (Tyvek) - \_\_\_\_\_

Foundation

Foundation Anchor Type – Bolt \_\_\_\_ Strap \_\_\_\_  
 Foundation Anchor Spacing - \_\_\_\_\_  
 Foundation Size - \_\_\_\_\_  
 Footing Width - \_\_\_\_\_  
 Footing Depth - \_\_\_\_\_

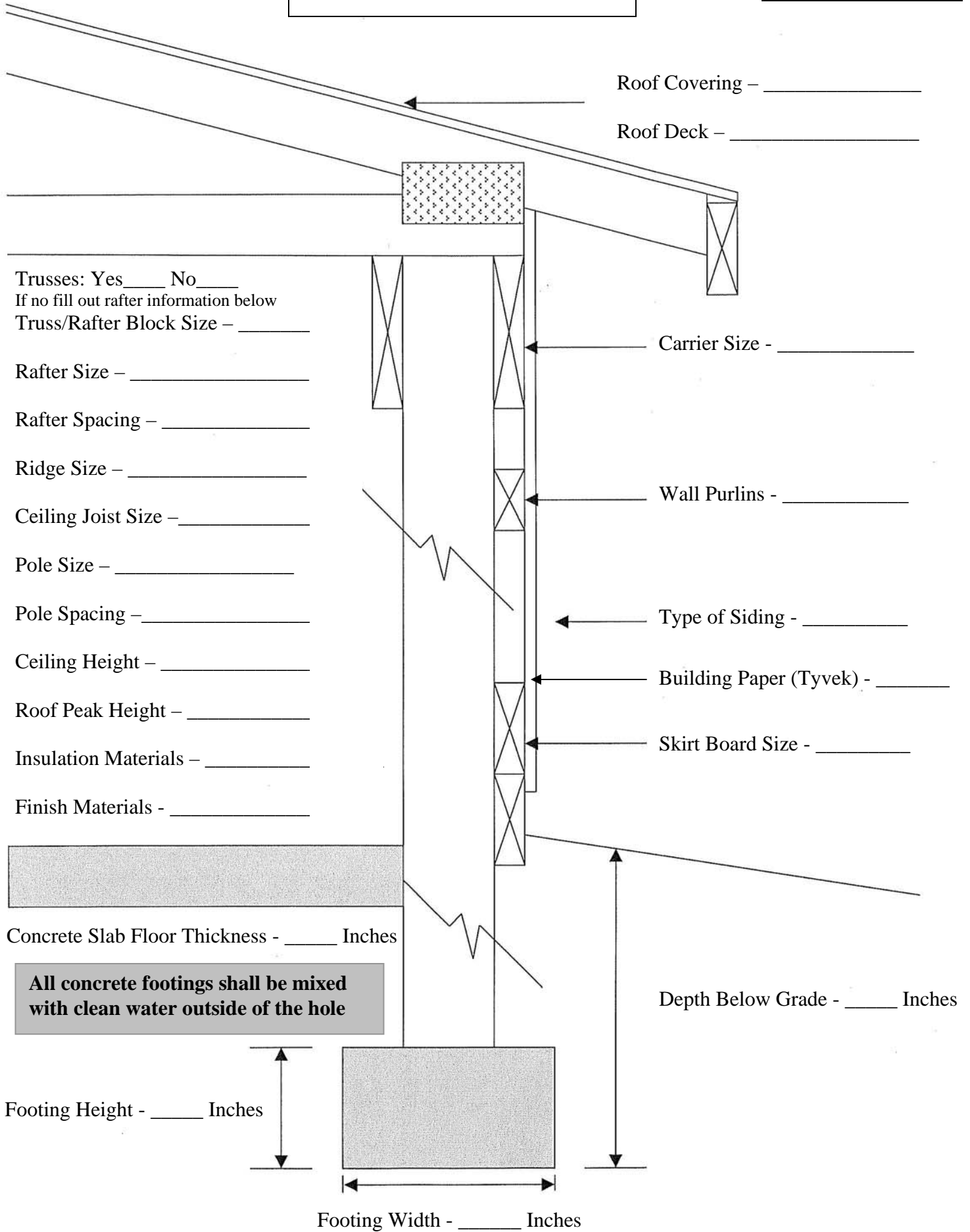
Concrete slab-on-ground floors shall be a minimum 3 ½ inches thick

Attached garages and other attached accessory structures shall have exterior footings and foundation systems that extend 42 inches below actual grade. Detached garages and other accessory structures that exceed 400 square feet shall have exterior footings and foundation systems that extend 42 inches below actual grade



**Residential Pole Barn**

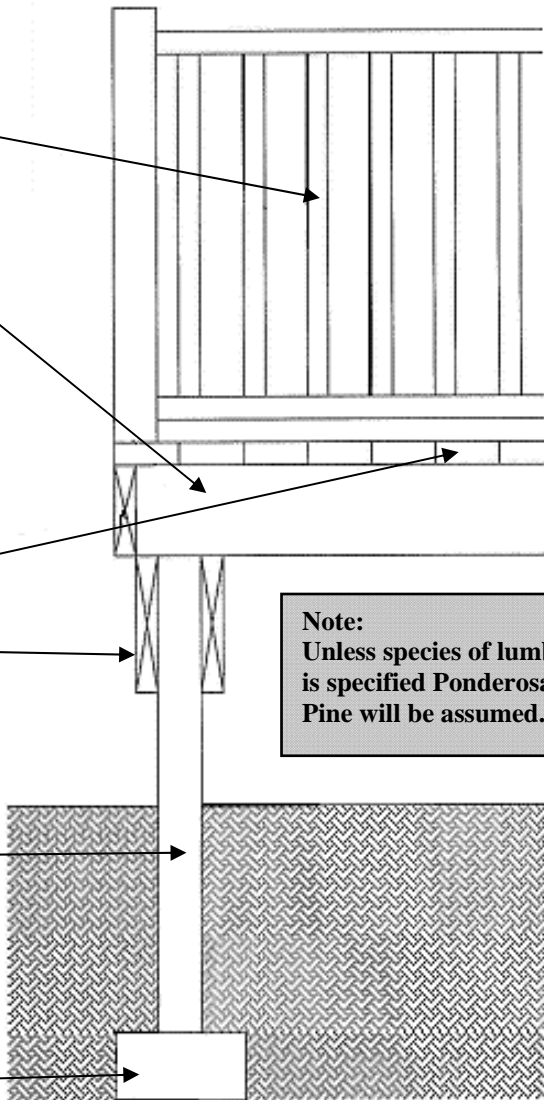
**Appendix C**



# Residential Deck Specifications

## Deck Guards

Guards are required if the floor is 30 inches or more off the ground. Required guards shall not be constructed with horizontal rails or other ornamental pattern that results in a ladder effect. Openings shall be sized so a 4 inch sphere will not pass through.



Floor Joist Clear Span – \_\_\_\_\_

Floor Joist Size – \_\_\_\_\_

Floor Joist Species of Lumber - Ponderosa Pine – \_\_\_\_\_  
 Southern Yellow Pine – \_\_\_\_\_  
 Other – \_\_\_\_\_

Floor Joist Spacing – \_\_\_\_\_

Deck Floor Material – \_\_\_\_\_

Carrier/Beam Species of Lumber - Ponderosa Pine – \_\_\_\_\_  
 Southern Yellow Pine – \_\_\_\_\_  
 Other – \_\_\_\_\_

Is the Deck Attached to the House – Yes - \_\_\_\_ No - \_\_\_\_

Post Size – \_\_\_\_\_

Post Spacing - \_\_\_\_\_ Feet \_\_\_\_\_ Inches

Footing Depth Below Grade - \_\_\_\_\_ Inches

Footings – Width \_\_\_\_\_ Height \_\_\_\_\_

**Note:**  
 Unless species of lumber is specified Ponderosa Pine will be assumed.

## Deck Stairways

Stairways shall not be less than 36 inches in clear width. The maximum riser height shall be 8 ¼ inches and the minimum tread depth shall be 9 inches.

### Deck Stairway Handrails

All required handrails shall be continuous the full length of stairways with 3 or more risers on at least 1 side of stairways. Handrails shall be placed not less than 34 inches or more than 38 inches above the nosing of the treads. The handgrip portion of handrails shall have a circular cross section of 1 ¼ inches minimum to 2 5/8 inches maximum. Other handrail shapes that provide an equivalent grasping surface are permissible. Edges shall have a minimum radius of 1/8 inch. Open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guards not less than 34 inches in height measured vertically from the nosing of the treads.