

ISABELLA COUNTY
Application for Special Use Permit

Applicant:

Name Lapham Associates Owner/ Agent/Other interest (circle one)
Address 116 S. Third Street, West Branch, MI 48661
Phone (989) 345- 5030 Fax (989) 345- 7302

Property Owner: (if different from applicant)

Name Gilmore Township
Address 7972 N. Winn Road, Farwell, MI 48622
Phone (989) 588- 7052 Fax _____

Property Location:

Township Gilmore Section 14 Zoning District AG-2
Address 1998 Stevenson Lake Road, Farwell, MI 48622
Tax I.D. Number 08-014-30-004-01

Description of Project and Proposed Use:

Proposed demolition of the existing Gilmore Township Hall building, and construction of a new build for use as public Township Hall.

Scott E. Bell

Digitally signed by Scott E. Bell
Date: 2023.11.17 14:31:17 -05'00'

Signature of Applicant

November 17, 2023

Date

Optional: I hereby grant permission for members of the Isabella County Planning Commission and Zoning Administrator to enter the above described property for the purposes of gathering information related to this application.

Scott E. Bell

Digitally signed by Scott E. Bell
Date: 2023.11.17 14:31:43 -05'00'

Signature of Applicant

November 17, 2023

Date

NOTE: All information received by this department is subject to the Freedom of Information Act. Under this Act, persons are allowed to request copies of said information. This includes, but not limited to, all copyrighted drawings/blueprints.

Office Use Only

File No. PSUP230006 Fee \$175.00 Check # CC#317729 Receipt No. 12786

Date Application Received 11.20.23 Application Received By MR

Legal Description Attached? YES NO Site Plan Attached? YES NO

Applicable Ordinance Section(s) 12.05 G.G

June 5, 2023

Isabella County Zoning Board of Appeals
c/o Ray Johnson, Zoning Administrator
200 N. Main St. Room 105
Mt. Pleasant, MI 48858

RE: Special Use request for Gilmore Township Hall Project

Mr. Johnson,

Gilmore Township is proposing to build a new township hall on their existing township hall property. The proposed building will provide a more energy efficient and usable building to meet the township's growing needs. The new build will include parking, utilities, and stormwater management facilities. This proposed development is allowed in the AG-2 district as a Special Use as a Public and Institutional Use. In an effort to provide all the necessary information for the Planning Commission to make their decision for this approval we have prepared the following:

- 1. Is the special use allowed within the site's zoning district and does the use agree with the County's comprehensive plan?*

The site is the current township hall that has been there for many years. The improvements proposed will only make the site more functional as a township hall. No mention of this type of use is referenced in your current master plan but rural township halls are typically found in residential areas as many townships may not even have other districts.

- 2. Will the proposed use be detrimental to adjacent properties or land uses?*

As mentioned in the prior requirement the site is the existing township hall. The proposed improvements although may utilize more of the site are not anticipated to significantly change the current impact from the township hall. Therefore, it is our opinion that there will not be any detrimental effects on adjacent properties.

- 3. How will the proposed use be designed, constructed, operated and maintained in a manner harmonious with the character of adjacent property and surrounding areas?*

The operation of the new township hall will not be different than the existing township hall is utilized. Typical day to day business of the township will be handled at the new building. Elections will be held at the new building. It is expected that the new building will be used by township residents for small gatherings such as baby showers or birthday parties.

4. *Will any hazard to adjacent property be generated by the special use or will it involve uses, activities, materials or equipment which will be detrimental to the health, safety or welfare of persons or property due to traffic, noise, smoke, odor, fumes or glare?*

Since the use as township offices, an election polling place, and small resident gatherings is currently taking place no detrimental changes will impact adjacent properties. The use as a township hall does not create noise, smoke, odor, fumes or glare.

5. *Does the special use require and have an appropriate and adequate waste handling system? If so, can person(s) responsible for the proposed special use demonstrate that the Central Michigan District Health Department has approved such a system or facility for continual use?*

Typical sanitary waste water will be treated using a standard onsite wastewater treatment utilizing a typical trench disposal system. This system's design is compliant with the "Michigan Criteria for Subsurface Sewage Disposal" and soil borings have been performed to determine the suitability of the soils. A permit application will be submitted to the Central Michigan District Health Department for their approval.

6. *Will the special use need to be conducted before 8:00 a.m. or after 8:00 p.m.? If yes, why?*

The building may occasionally be used after 8:00 p.m. for elections or long public meetings that may happen from time to time.

We appreciate the Planning Commission's time and believe that this use for this site is compliant with the general requirements and specific design standards identified in Section 12.05 (DD) of the ordinance. We look forward to your approval.

Sincerely,
 LAPHAM ASSOCIATES



Scott E. Bell, AICP Project Manager

Y:\Engineer\P230341 Gilmore Township - Hall\Zoning\SUP supporting Letter.doc



Dated Nov. 17, 2023

Gilmore Township Offices



Section 14, T.16N., R.05W., Gilmore Township, Isabella County, Michigan

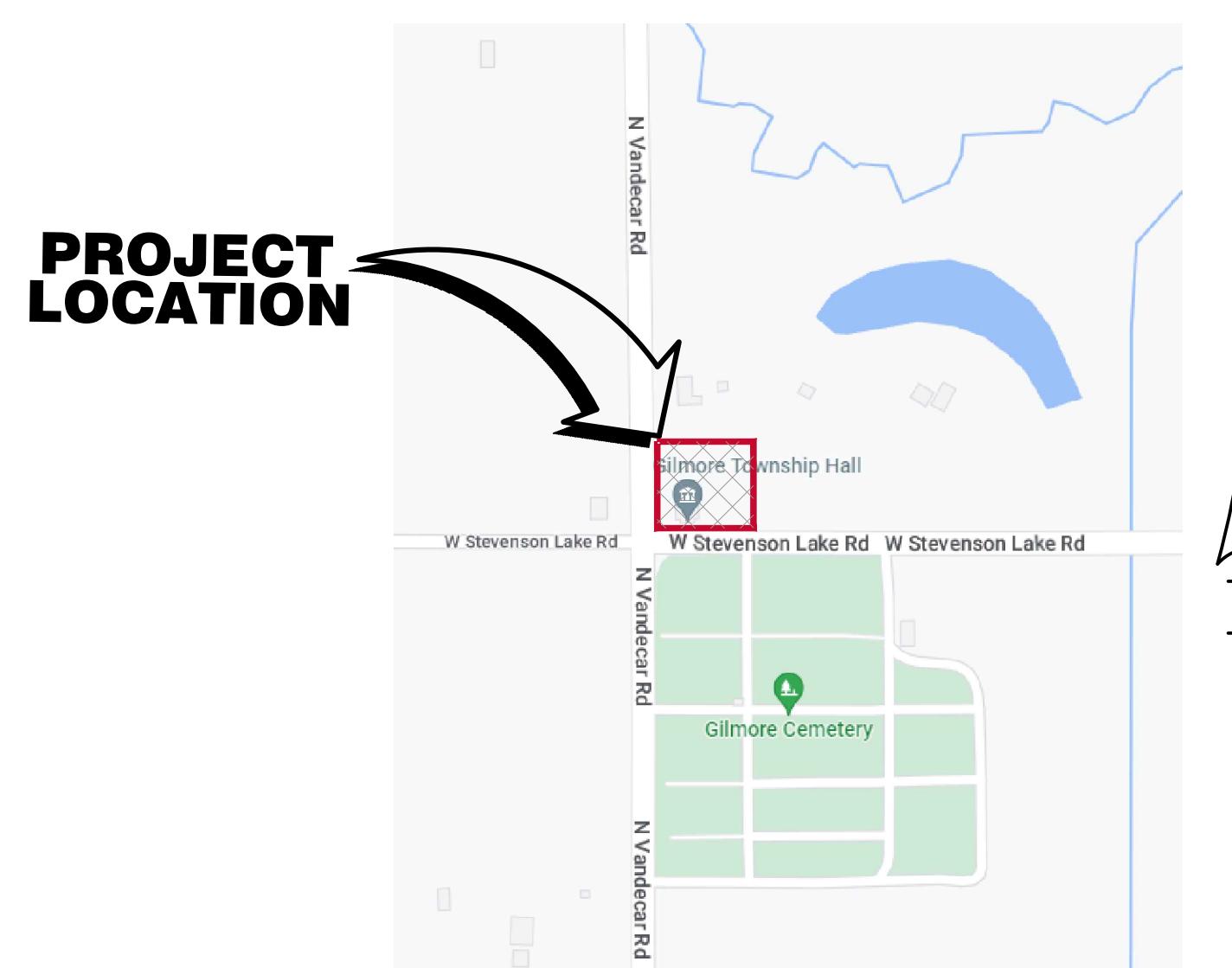
SITE ADDRESS: 1998 W. Stevenson Lake Rd., Farwell, MI 48622

Property Description:

Part of the Southwest One-quarter of the Southwest One-quarter, Section 14, T16N-R5W, Gilmore Township, Isabella County, State of Michigan, described as: Beginning at the Southwest Corner of Section 14; thence S89°59'37"E, along the South Line of said Section 14, 258.71 feet; thence N00°30'04"W, parallel with the West Section line, 208.71 feet; thence N89°59'37"W, parallel with the South Section line, 258.71 feet to the West Section line; thence S00°30'04"E, along the West Section line, 208.71 feet back to the Point of Beginning. This property is subject to an easement for the installation and maintenance of public utilities within the right-of-way of Stevenson Lake Road and Vandecar Road. Containing 1.24 acres, more or less, and being subject to restrictions, reservations, easements, rights-of-way, zoning, governmental regulations, and matters visible, if any, upon or affecting said lands.

Sheet Index:

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| C-11 | Landscaping Plan |



Submission Table:

Nov. 17, 2023 Submit initial site plan to the Isabella County for Site Plan Approval approval.

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1998 W. Stevenson Lake Rd.
Farwell, MI 48622

C-1
Cover Sheet
Gilmore Township Office
GOUDEAU
ASSOCIATES

| | | |
|--|---------------------|------------|
| PROJECT NUMBER: P-230341 | DRAWN BY: S.E. Bell | SCALE: N/A |
| ENGINEER: Timothy L. Lapham, P.E. #201027596 | DATE: Nov. xx, 2023 | SHEET C-1 |
| REVISED: | | |
| REVISED: | | |
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1998 W. Stevenson Lake Rd.
Farwell, MI 48622

1998 W. Stevenson Lake Rd.
Farwell, MI 48622

GOUDEAU
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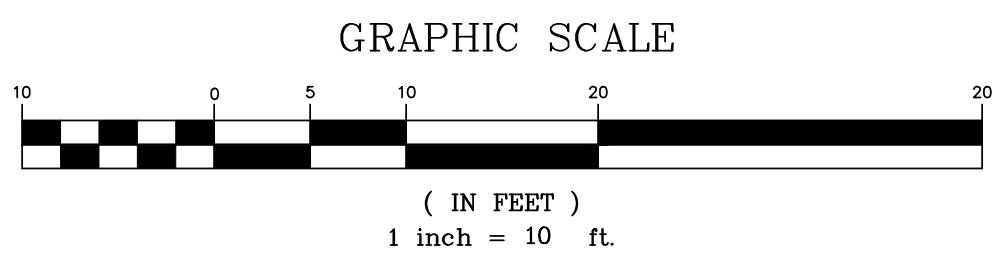
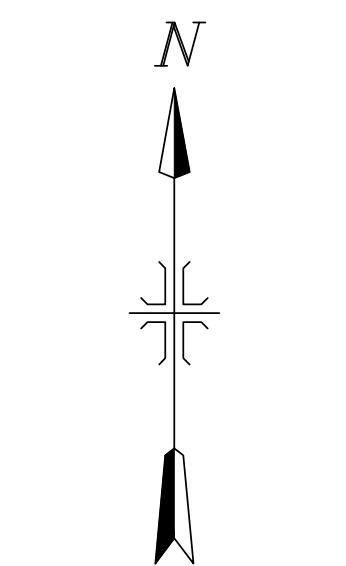
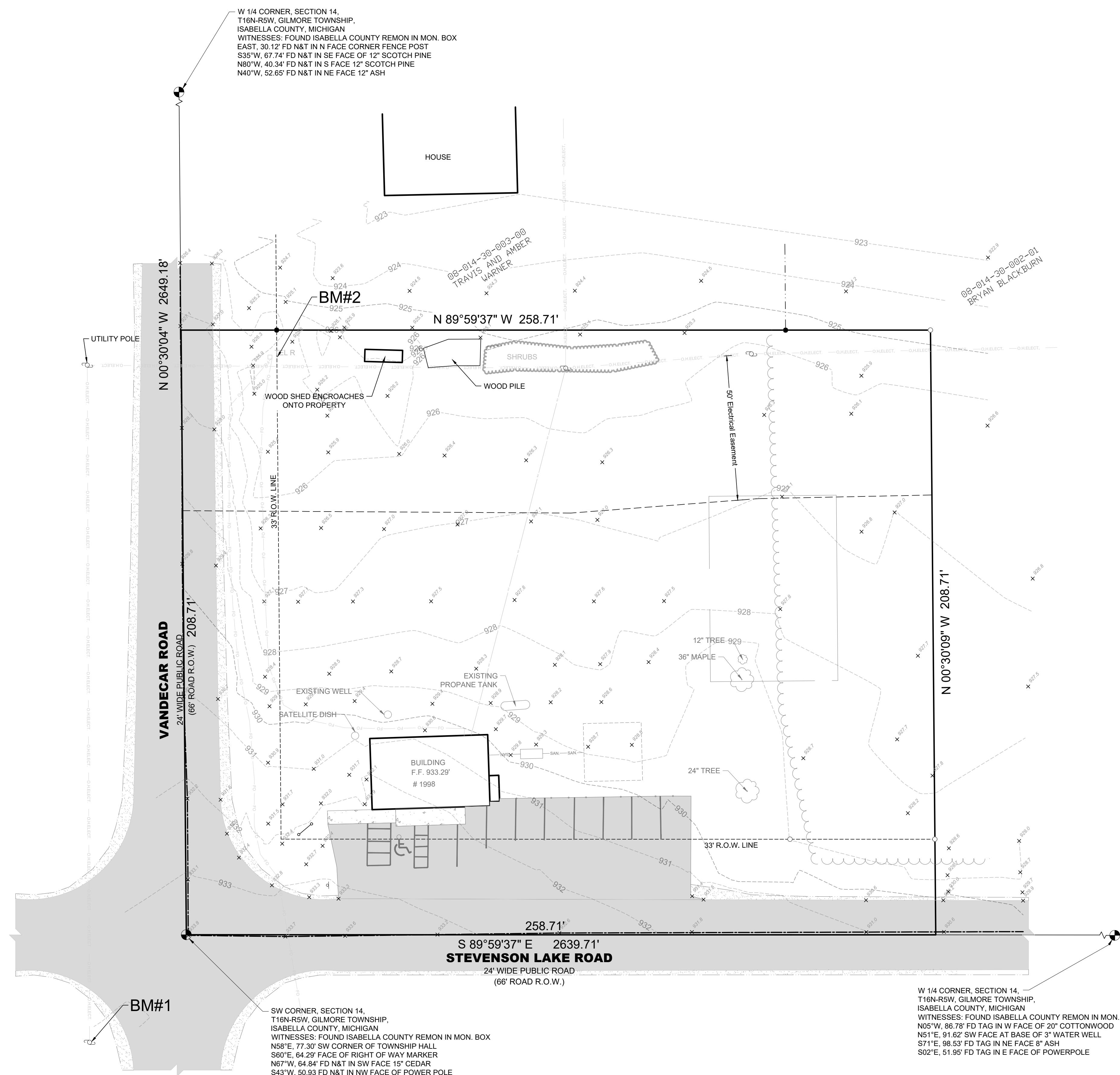
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Topographic Survey



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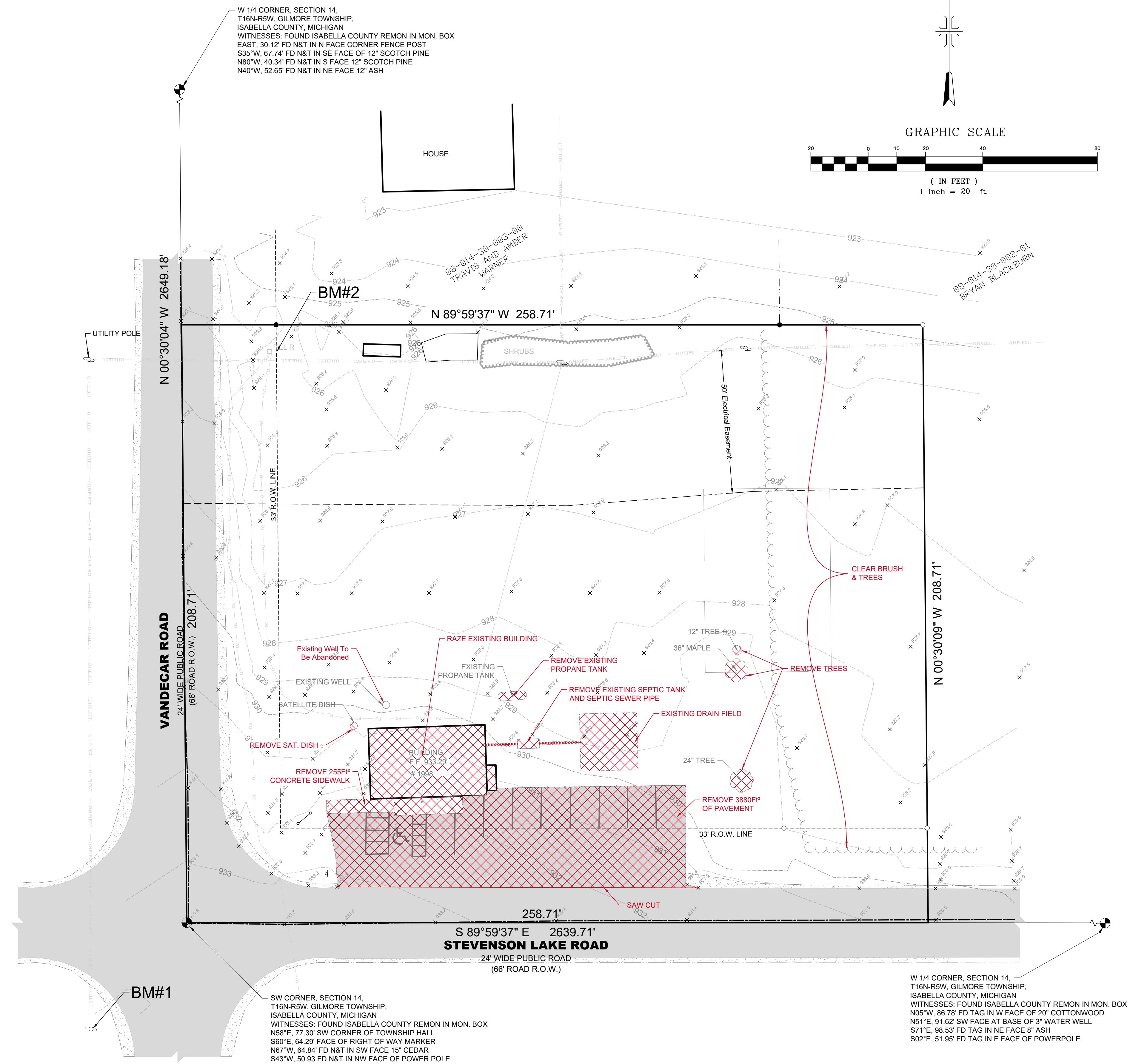
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C-3

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|--|---------------------|-----------------|
| PROJECT NUMBER: P-230341 | DRAWN BY: S.E. Bell | SCALE: 1" = 10' |
| ENGINEER: Timothy L. Lapham, P.E. #2027595 | DATE: Nov. xx, 2023 | SHEET C-3 |
| REvised: | | |
| REvised: | | |
| REvised: | | |

Gilmore Township Office
1998 W. Stevenson Lake Rd.
Farwell, MI 48622

1998 W. Stevenson Lake Rd.
Farwell, MI 48622



Utility Contacts:

Electricity:
Tri-County Electric
Address: 3681 Costabella Ave.,
Blanchard, Mi 49310
Number: 800-562-8232

Propane:
Coyne Oil & Propane
Address: 914 W. Pickard St.,
Mount Pleasant, Mi 48858
Number: 989-772-2270

Internet:
CMS Internet
Address: 131 S. Main St.,
Mount Pleasant, Mi 48858
Number: 800-828-3745

Well Abandoning Note:

Existing well shall be abandoned by a licensed well driller and the appropriate paper work with the Central Michigan District Health Department.

Contact: Tracy Nelson, R.S.
Environmental Health Supervisor
Isabella County Branch Office
Central Michigan District Health Dept.
Phone: 989-600-9527
Office: 989-773-5921 ext: 1477
Fax: 989-772-5959

Demolition Plan



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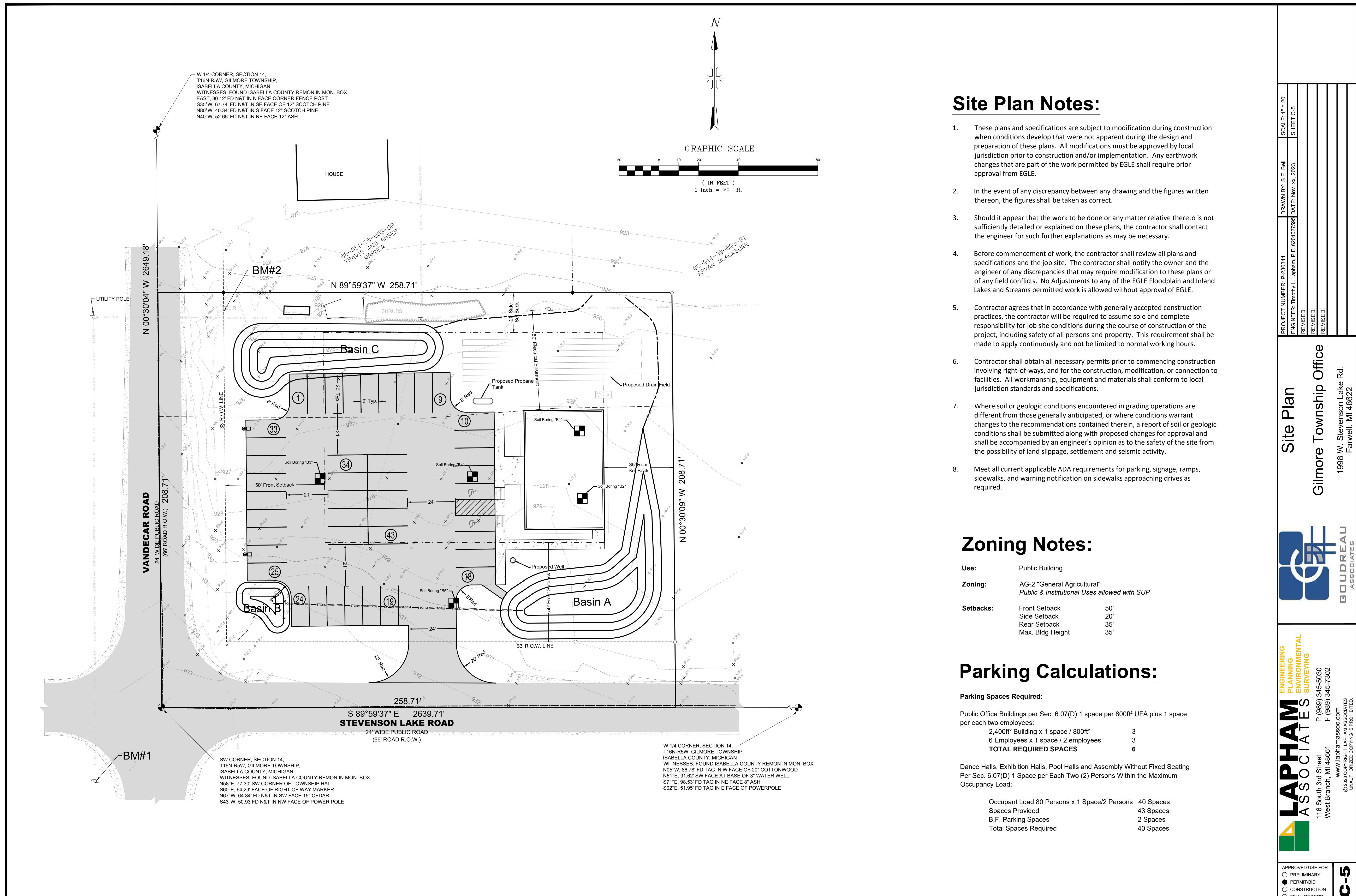
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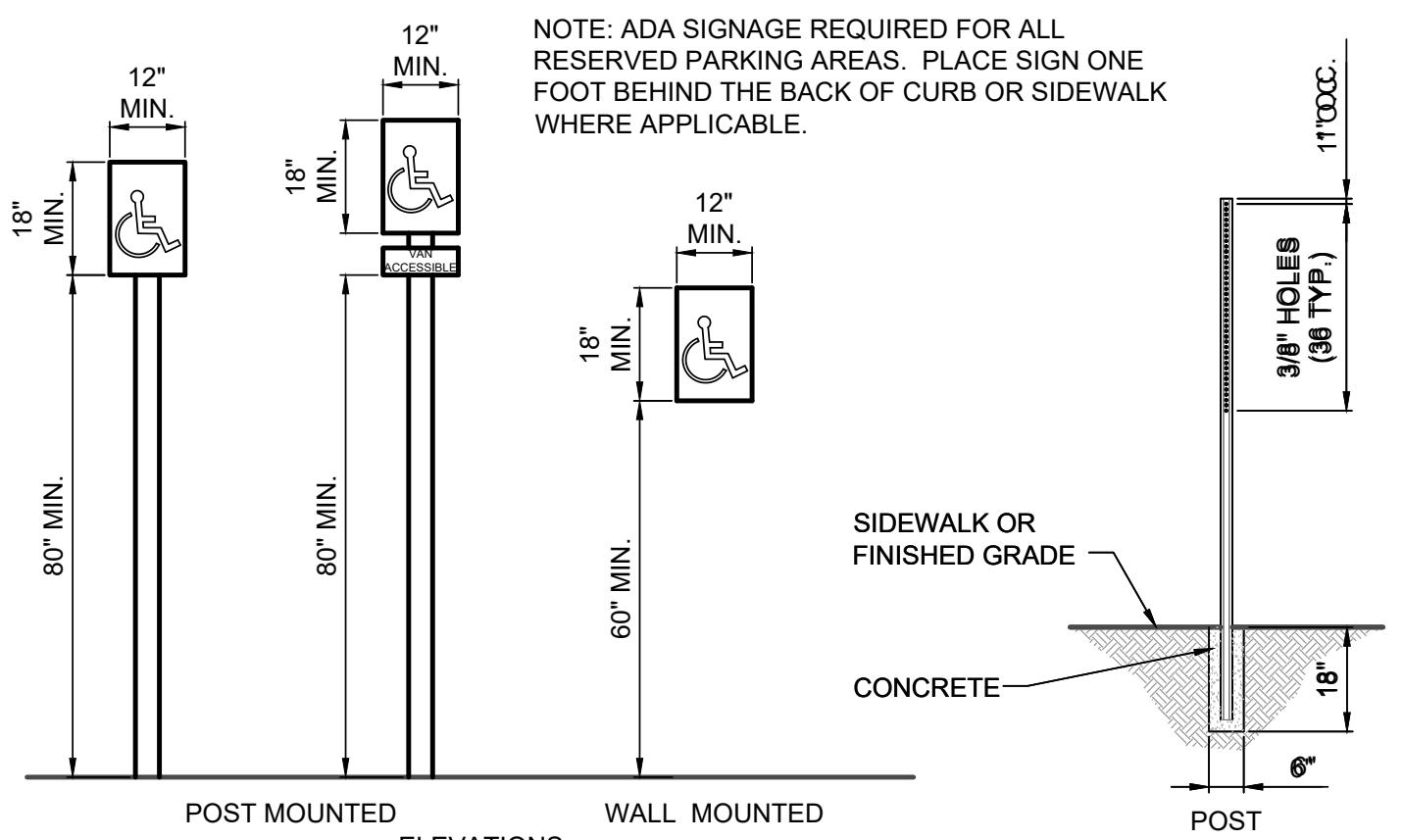
C-4

DEMOLITION NOTES:

- Prior to beginning any of this work the contractor shall notify the Architect or Engineer. The Contractor shall be sure all utilities have been properly disconnected by the utility owner prior to starting Building Demolition.
- All demolition work shall conform to all local codes and ordinances. All demolition operations shall comply with MIOSHA regulations insofar as they apply to the required work. A Soil Erosion and Sedimentation Control Permit will be required prior to demolition.
- The contractor shall remove and clear all trees, brush, fences, buildings, curb, and asphalt as shown on the plans or as directed by the Engineer.
- All demolition material shall be properly removed from the site and disposed of in a legally designated disposal area. No on-site burning will be allowed without proper permission. Permits and fees for disposal of demolition material shall be obtained and paid for by the contractor.
- The contractor shall demolish and remove any items remaining from the existing building, in its entirety, including walls, foundations and footings. All building drains and utility leads shall be located and properly plugged. Utility lead work shall be coordinated with the appropriate utility company.
- Backfill excavated areas with clean granular fill compacted to 95% of the material unit weight by modified proctor.
- At the conclusion of the demolition operations, the entire work area shall be left in a clean condition. All protective devices and barriers shall be removed.

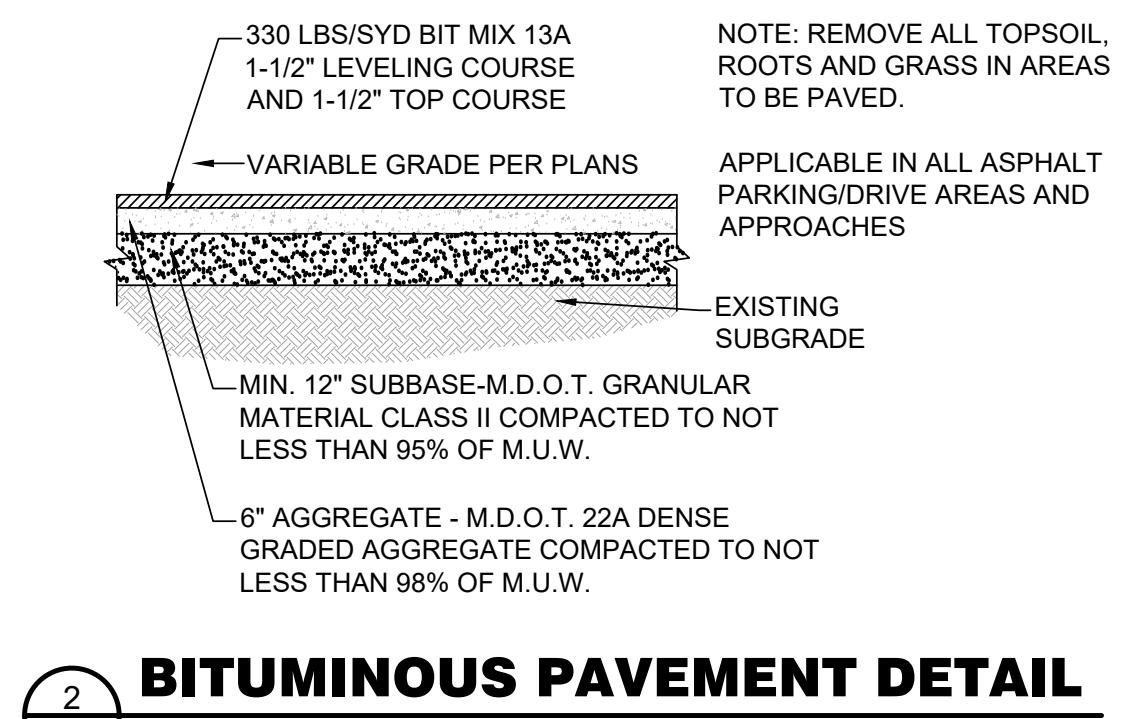
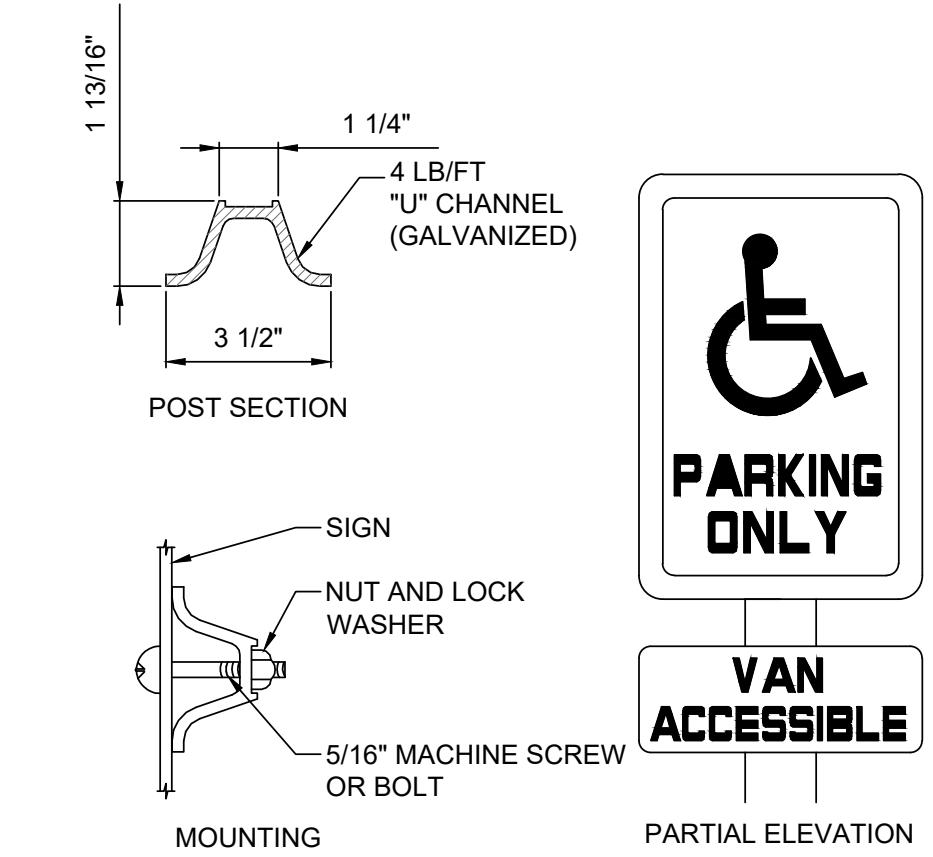
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|--|---------------------|---------------------|
| ENGINEER: Timothy L. Lapham, P.E. #201027596 | REVIEWED: | REvised: |
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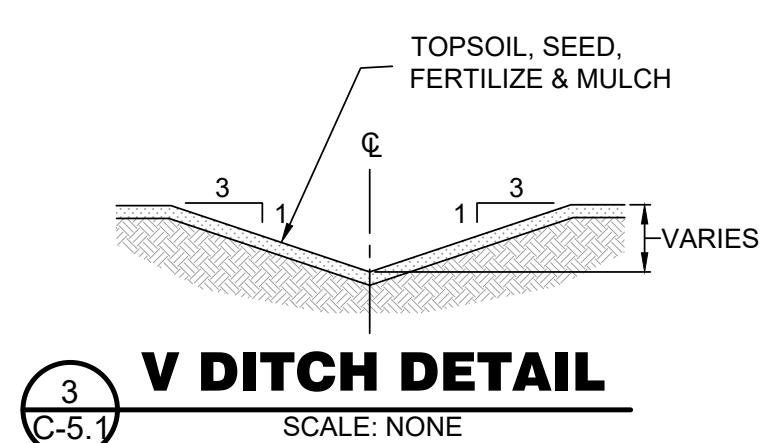
ADA SIGNAGE DETAIL

SCALE: NONE



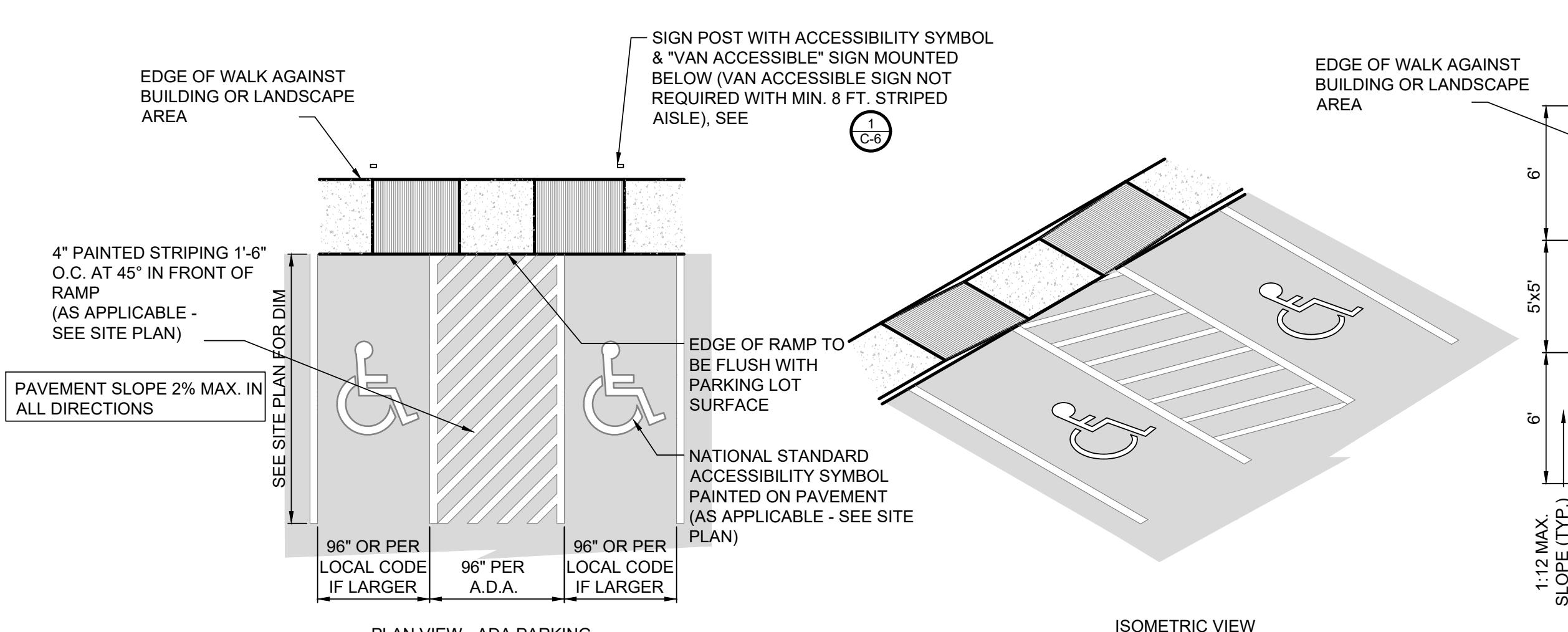
BITUMINOUS PAVEMENT DETAIL

SCALE: NONE



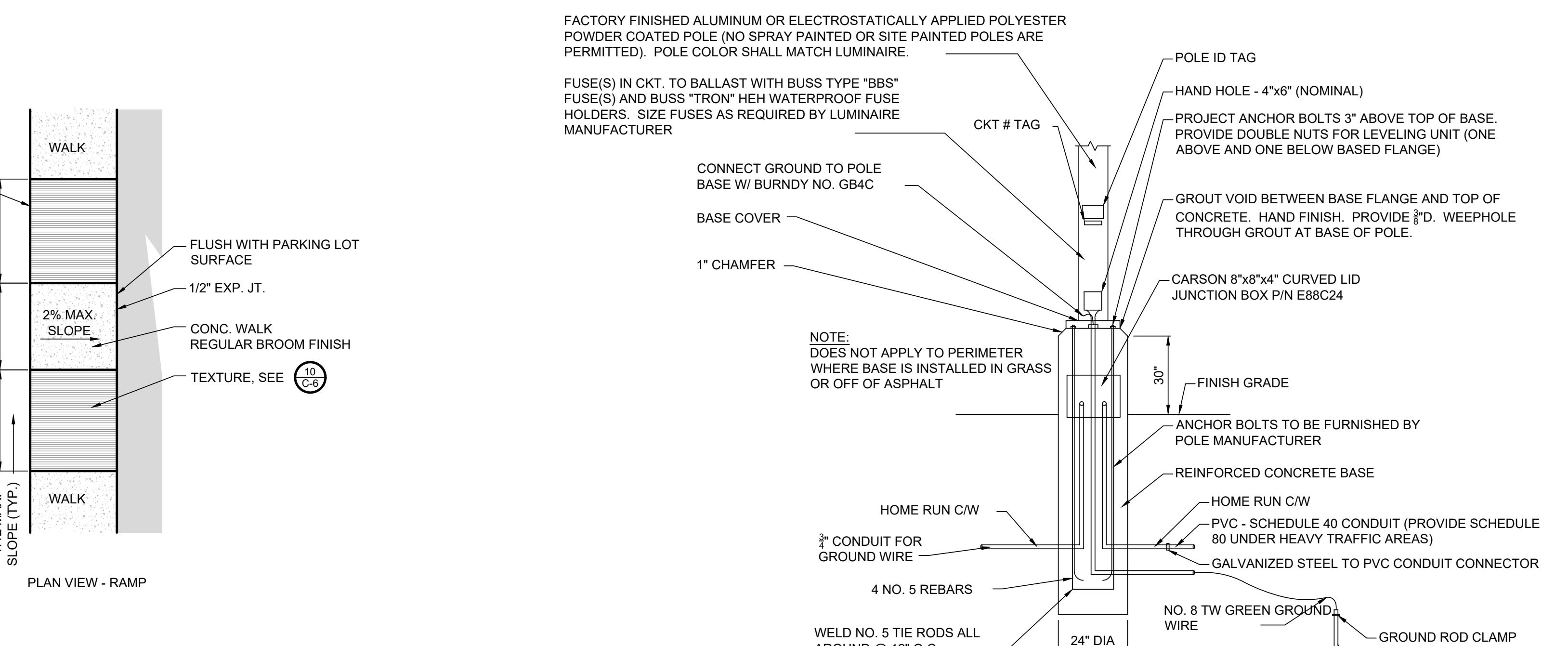
V DITCH DETAIL

SCALE: NONE



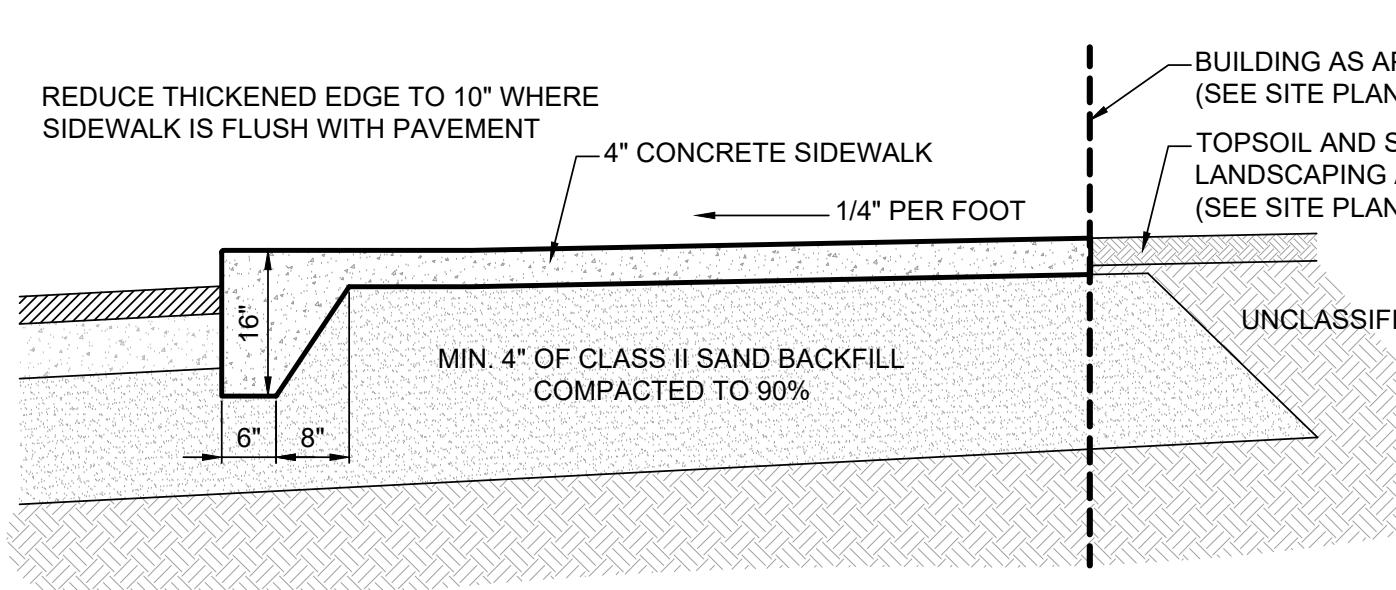
ACCESSIBLE PARKING STALLS

SCALE: NONE



LIGHT POLE BASE

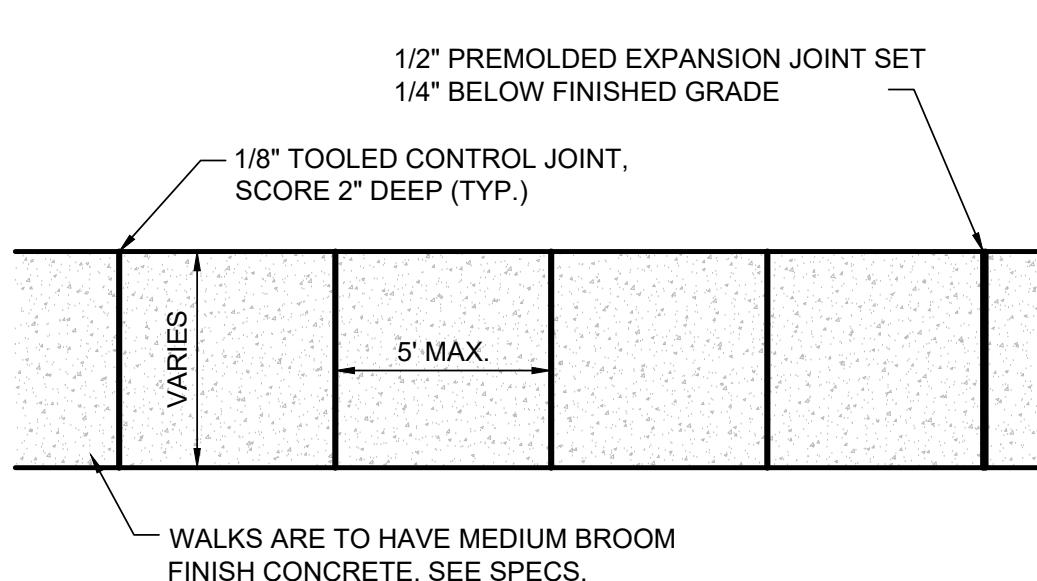
SCALE: NONE



TYPICAL SIDEWALK DETAIL

SCALE: NONE

NOTE: SIDEWALK SHALL BE DIVIDED INTO UNIT AREAS OF NOT MORE THAN 30 SQUARE FEET AND NOT LESS THAN 16 SQUARE FEET, WITH CONTROL PLANE JOINT PROVIDE 50' MAX. EXPANSION JOINT SPACING WHERE CURB DOES NOT EDGE WALK, DRAIN AWAY FROM BUILDING. EDGE SIDEWALK WITH 1/4" RADIUS AND BROOM FINISH SURFACE.



TYPICAL CONC. SIDEWALK DETAIL

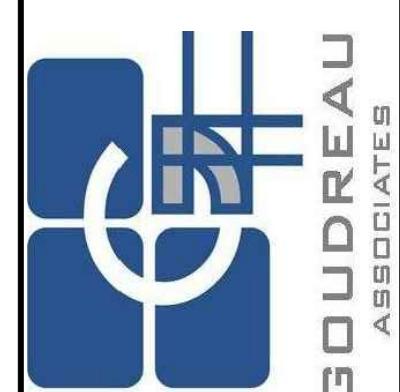
SCALE: NONE

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|--|---------------------|------------|
| PROJECT NUMBER: P-230341 | DRAWN BY: S.E. Bell | SCALE: N/A |
| ENGINEER: Timothy L. Lapham, P.E. #201027596 | DATE: Nov. xx, 2023 | REVIEWED: |
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Site Details

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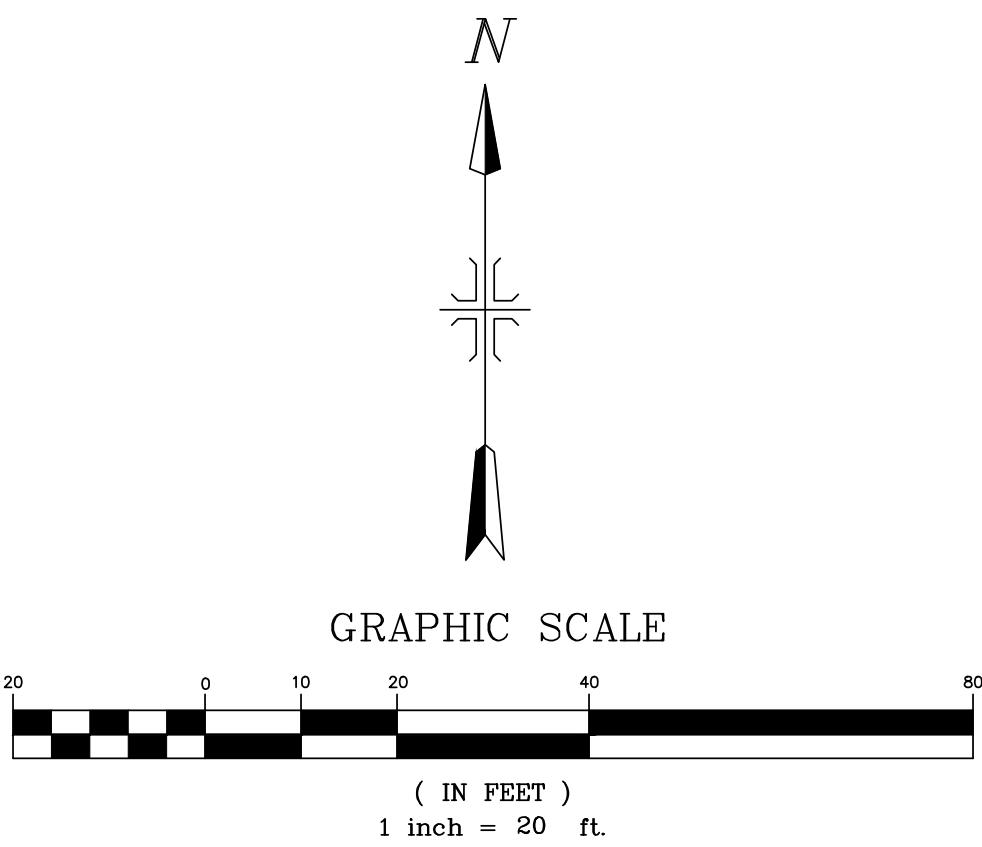
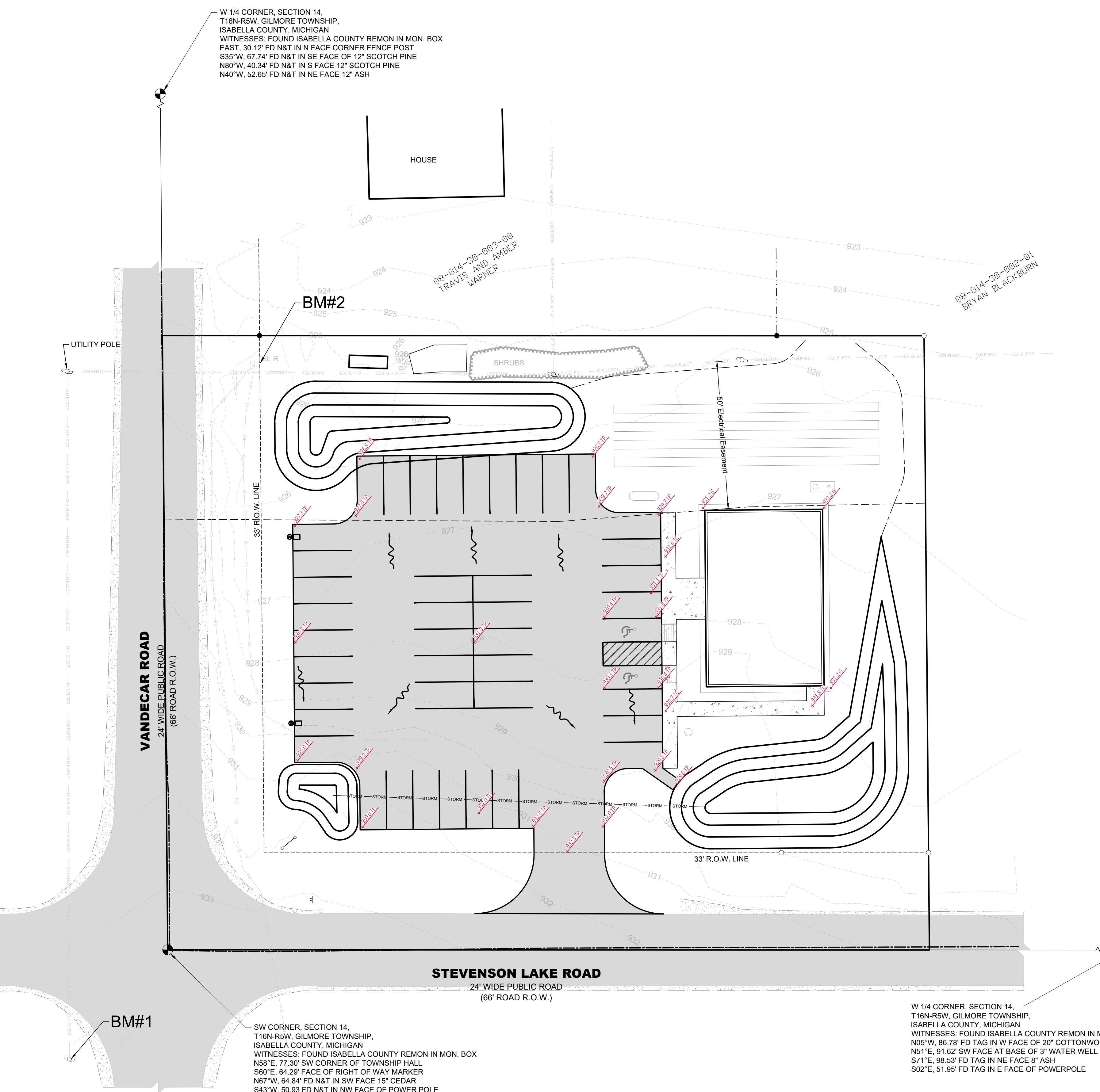
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C-5.1



LEGEND:

- TP - TOP OF PAVEMENT
- TC - TOP OF CONCRETE
- BC - BACK OF CURB
- GP - GUTTER PAN
- FF - FINISH FLOOR
- G - GROUND
- RIM - RIM ELEVATION
- INV - INVERT ELEVATION

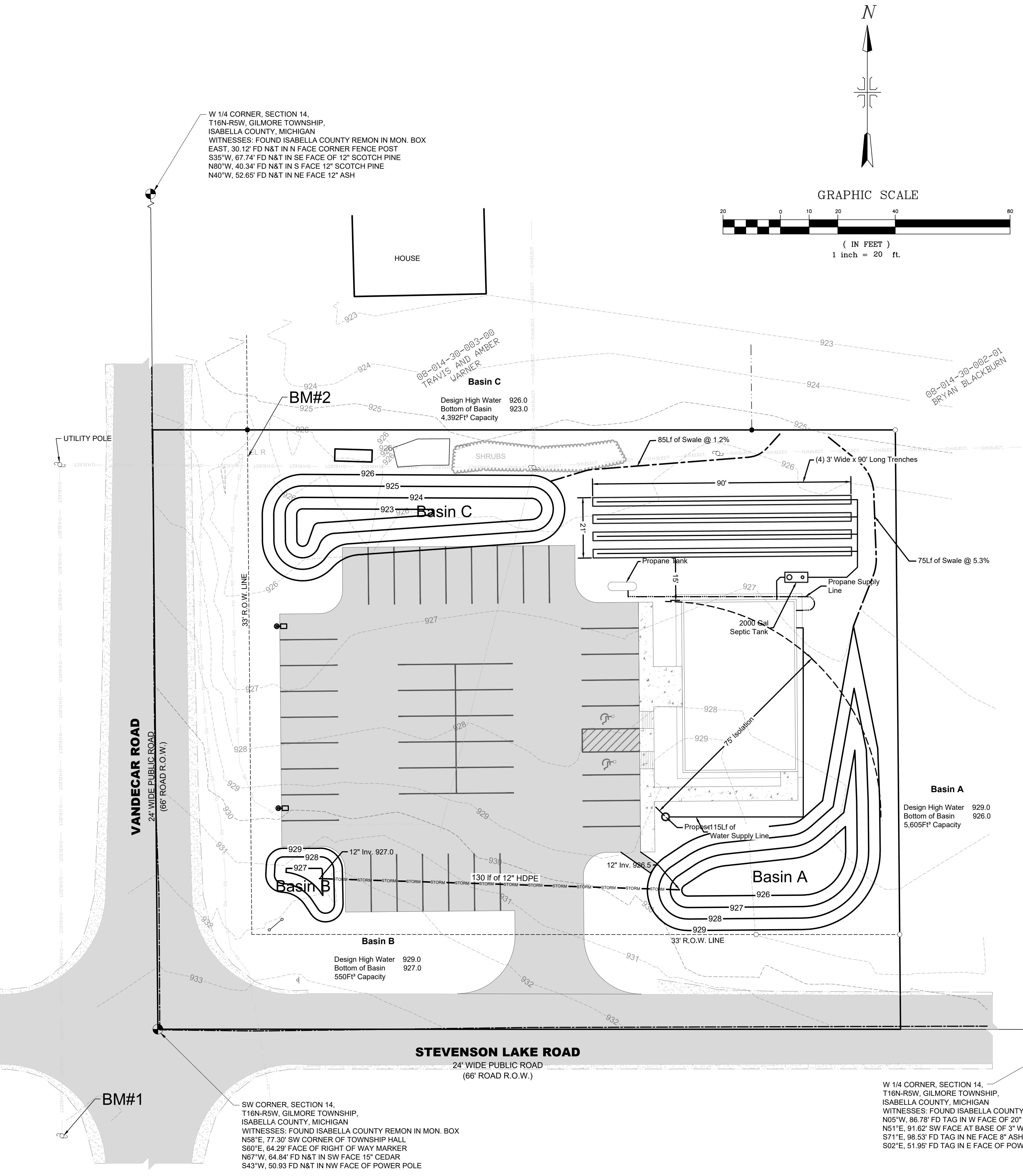
 623.6 TP

- ELEVATION AT LOCATION

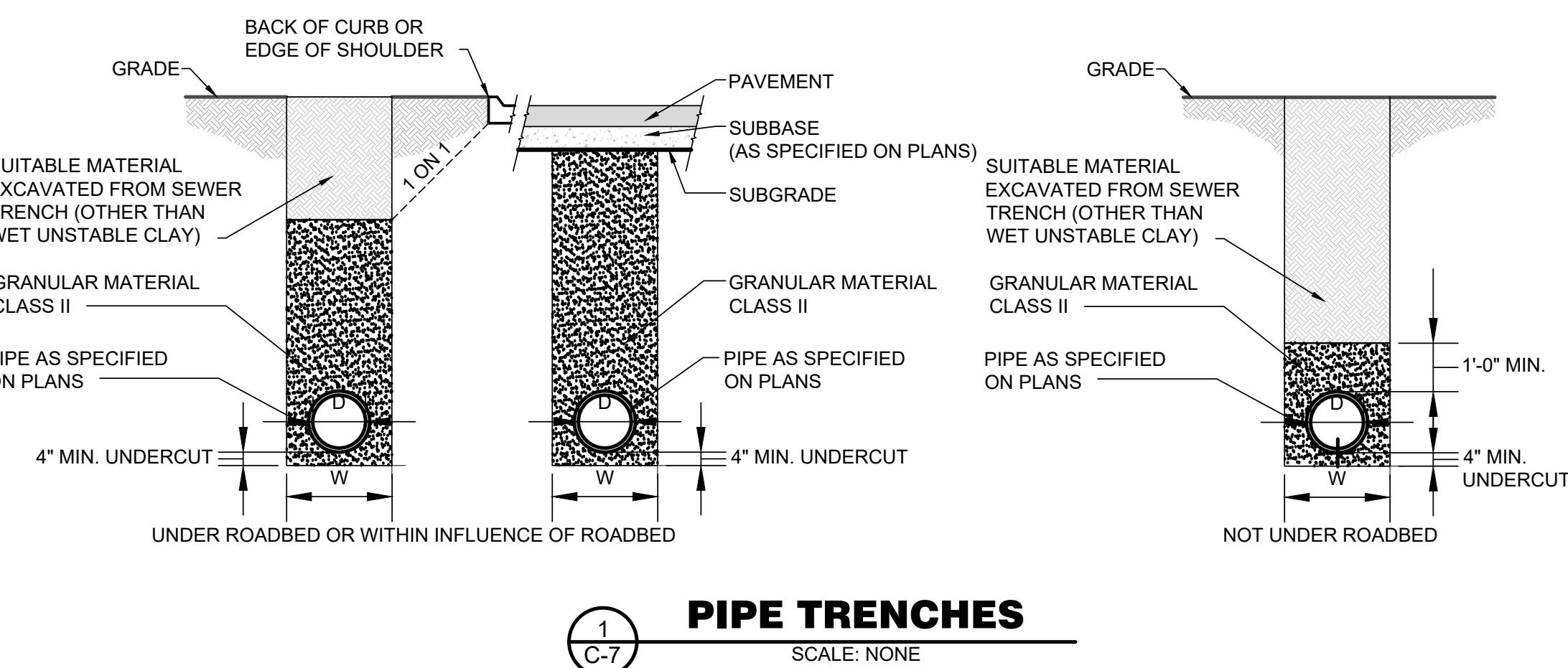
 - DIRECTION OF SURFACE FLOW

Grading Notes:

1. The forms for concrete sidewalks, curbs, gutters, and driveways that are to be constructed to conform to existing roads shall be installed to the grades shown on these plans. Prior to placing concrete, the forms shall be inspected and approved by local jurisdiction for conformance to existing road improvements. Grades of new improvements are subject to field adjustment to fit conditions.
2. The contractor shall be responsible for matching existing facilities to avoid any abrupt or apparent changes in grades or cross slopes, low spots, or hazardous conditions.
3. All grading, back filling, excavation, etc., shall be in accordance with the specification or normal practice if not specified.
4. Where unstable or unsuitable materials are encountered during subgrade preparation, the area in question shall be over excavated and replaced with engineered backfill material.
5. If requested, a representative of the engineer shall be on the site during grading operations and shall observe the construction and identify any conditions that should be corrected and recommend corrective measures to the contractor.
6. All grading, erosion, and sediment control and related work undertaken on this site shall be in accordance with local jurisdiction.
7. The contractor shall not disturb any permanent survey points without the consent of local jurisdiction. Any points destroyed shall be replaced by a licensed surveyor at the contractor's expense.
8. Grading at the boundaries shall be done so as not to obstruct the runoff of storm waters from adjacent properties.
9. All disturbed areas shall be topsoiled, seeded, fertilized and mulched.
10. Contractor to maintain all soil erosion control measures. Surrounding paved areas shall be power broomed as necessary to remove mud tracking from the site.
11. Contractor shall obtain soil erosion permit prior to any construction.
12. All structures, sidewalks, curbs and asphalt shall have a minimum of 12" of clean granular material (MDOT Class II) as a sub-base and compacted to 95% maximum unit density. If pumping or yielding is caused by the compactive efforts, the sand layer shall be increased until density can be obtained without pumping water through the subgrade.



| MINIMUM TRENCH WIDTHS | | | | | | |
|-------------------------|--------------|------|------|------|------|------|
| I.D. PIPE SIZE (INCHES) | LESS THAN 18 | 21 | 24 | 30 | 36 | |
| "W" TRENCH WIDTH (FEET) | 3.0 | 3.5 | 4.0 | 5.0 | 6.0 | |
| I.D. PIPE SIZE (INCHES) | 42 | 48 | 54 | 60 | 66 | 72 |
| "W" TRENCH WIDTH (FEET) | 7.0 | 8.0 | 9.5 | 10.0 | 10.5 | 11.0 |
| I.D. PIPE SIZE (INCHES) | 78 | 84 | 90 | 96 | 102 | 108 |
| "W" TRENCH WIDTH (FEET) | 11.5 | 12.0 | 12.5 | 13.0 | 13.5 | 14.0 |



Septic System Basis Of Design:

40 Occupants Per Maximum Occupancy Of Building
At 5 Gallons Per Occupant = 2000 GPD Design Flow

Use Trench System w/ 18" Of Stone Below Pipe. (4) Four Trenches At 3' Wide x 90' Long.

$$\begin{array}{l}
 3' \times 90'' = 270\text{Ft}^2 \text{ Bottom Area} \\
 \underline{186' \times 1.5' = 279\text{Ft}^2 \text{ Side Wall Area}} \\
 \hline
 549\text{Ft}^2 \text{ Absorption Area Per Trench}
 \end{array}$$

Total 549Ft² x 4 = 2,196Ft² Total Absorption Area

Application Rate = 2.000GPD/2.196Ft² = 0.91 Gallon Per Sqft/Day

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| <input type="radio"/> | FINAL RECORD |

Gilmore Township Office

The logo for Soudreau Associates features a stylized blue graphic on the left composed of vertical and diagonal lines, with a semi-circular cutout on the left side. To the right of the graphic, the word "SOUADERAU" is written in a large, bold, sans-serif font, with "ASSOCIATES" in a smaller font stacked vertically below it.

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